

# Broker Price Opinion

 Exterior Inspection  
 Interior Inspection

Property Address: 112 E Avenue 41	Vendor ID: 4408454
City, State, Zip: Highland Park, CA 90031	Deal Name:
Loan Number: 112EAvenue41	Inspection Date: 12/22/2017
2nd Loan / Client #:	Subject APN: 5451-007-002

Property Occupancy Status: Owner	Does the Property Appear Secure?: Yes	Est. Monthly Rent: \$1,500	Sold in the last 12 Months?: No
Currently Listed: Yes	Currently List Broker: UNITED BROKERS	List Broker Contact #: 7472021201	Initial List Price: \$900,000
		Initial List Date: 11/01/2017	Current List Price: \$900,000
		DOM / CDOM: 50 / 50	Sale Price:
Is the Subject Listing Currently Pending?: Yes	Date of Contract: 11/01/2017	CDOM to Contract: 50	Sale Date:

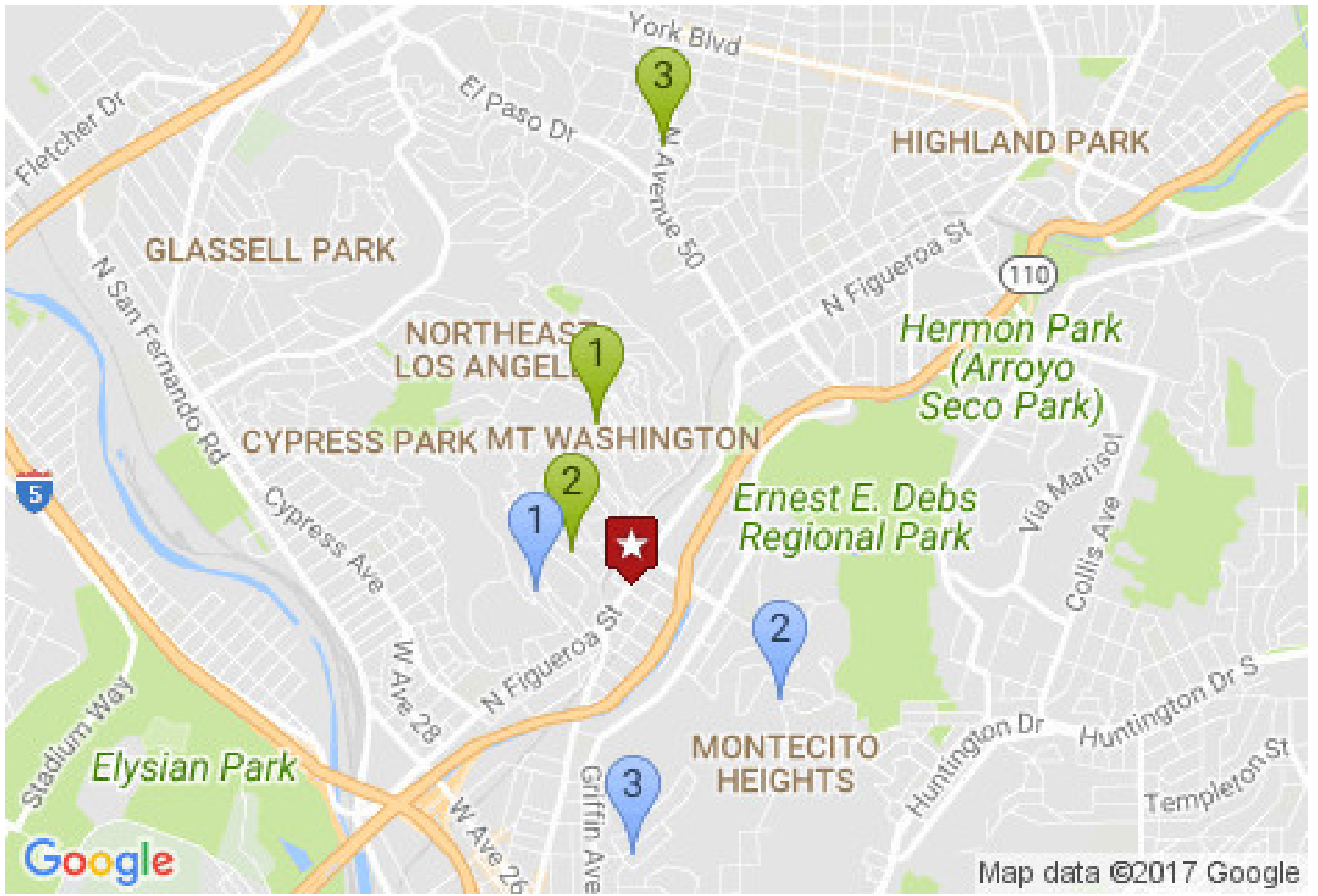
Subject Property Comments / External Influences

Subject is a SFR with average condition.

	Subject	Sold Comp 1	Sold Comp 2	Sold Comp 3	List Comp 1	List Comp 2	List Comp 3
Address	112 E Avenue 41 Highland Park, CA 90031	4471 Beauvais Ave Los Angeles, CA 90065	336 Mt Washington Dr Los Angeles, CA 90065	879 N Avenue 50 Los Angeles, CA 90042	3726 Glenalbyn Dr Los Angeles, CA 90065	3665 Roberta St Los Angeles, CA 90031	442 E Avenue 28 Ave Los Angeles, CA 90031
Proximity		0.62 Miles	0.27 Miles	1.59 Miles	0.35 Miles	0.63 Miles	0.92 Miles
Sale/List Price		\$975,000	\$983,375	\$860,000	\$975,000	\$898,000	\$903,000
Sale Date		8/18/2017	9/18/2017	5/19/2017	pending	pending	active
Price Per Sq.ft.	\$283.64	\$437.02	\$423.32	\$241.30	\$311.50	\$248.75	\$301.00
Initial List Price	\$900,000	\$899,000	\$899,900	\$860,000	\$1,299,000	\$950,000	\$903,000
Initial List Date	11/01/2017	6/18/2017	8/4/2017	12/8/2016	10/9/2017	7/17/2017	9/11/2017
Current/Final List	\$900,000	\$899,000	\$899,900	\$860,000	\$975,000	\$898,000	\$903,000
DOM/CDOM	50 / 50	54 / 54	45 / 45	96 / 96	53 / 53	77 / 77	102 / 102
Sales Type		Fair Market	Fair Market	Fair Market	Fair Market	Fair Market	Fair Market
Finance Incentives	0	Conventional	Conventional	Conventional	Conventional	Conventional	Conventional
Living Area	3173	2231	2323	3564	3130	3610	3000
#Rooms/Bed/Bath 1	9 / 6 / 1	6 / 3 / 3	8 / 5 / 3	10 / 5 / 4	7 / 4 / 5	9 / 6 / 5	10 / 7 / 4
Year Built	1897	1932	1927	1922	1992	1992	1906
Bsmnt SF/% Finished							
Lot Size	0.13ac	0.18ac	0.15ac	0.35ac	0.11ac	0.18ac	0.1ac
Property Type	SF Detach	SF Detach	SF Detach	SF Detach	SF Detach	SF Detach	SF Detach
Style / Quality	Colonial / Q4	Colonial / Q3	Ranch / Q4	Colonial / Q4	Ranch / Q3	Colonial / Q4	Colonial / Q4
# of Units	1	1	1	1	1	1	1
Condition	C4	C3	C4	C4	C3	C4	C4
Pool/Spa	None	No / No	No / No	No / No	No / No	No / No	No / No
View	Residential	Residential	Residential	Residential	Residential	Residential	Residential
Porch/Patio/Deck	No / No / No	No / No / No	No / No / No	No / No / No	No / No / No	No / No / No	No / No / No
Fireplace	No	No	No	No	No	No	No
Garage	2 Attached	2 Attached	3 Attached	2 Attached	3 Attached	None	None
Other Features	None	None	None	None	None	None	None
HOA Fees	0/mo	0/yr	0/yr	0/yr	0/yr	0/yr	0/yr
Subdivision	Los Angeles	Los Angeles	Los Angeles	Los Angeles	Los Angeles	Los Angeles	Los Angeles
School District	Los Angeles	Los Angeles	Los Angeles	Los Angeles	Los Angeles	Los Angeles	Los Angeles

Data Source - ID	MLS - MB17248878	MLS - 817000285IT	MLS - 817001190IT	MLS - DW16760373MR	MLS - PW17232075MR	MLS - DW17163174MR	MLS - EV17210609MR
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<b>Market Time 90-120 days</b>	<b>As-Is Price Estimate</b>	<b>As-Repaired Price Estimate</b>	<b>Land Only Price</b>
Anticipated Sale Price	\$900,000	\$900,000	\$74,985
Recommended List Price	\$905,000	\$905,000	
Recommended Sales Strategy:	<input checked="" type="checkbox"/> As - Is <input type="checkbox"/> Repaired		



	Address	City	BR	BA	Lot Size	Sale/List Date	Year Built	Sale/List Price	Distance
•	112 E Avenue 41	Highland Park	6	1	0.13ac		1897		
1	4471 Beauvais Ave	Los Angeles	3	3	0.18ac	8/18/2017	1932	\$975,000	0.62 Miles
2	336 Mt Washington Dr	Los Angeles	5	3	0.15ac	9/18/2017	1927	\$983,375	0.27 Miles
3	879 N Avenue 50	Los Angeles	5	4	0.35ac	5/19/2017	1922	\$860,000	1.59 Miles
1	3726 Glenalbyn Dr	Los Angeles	4	5	0.11ac	10/9/2017	1992	\$975,000	0.35 Miles
2	3665 Roberta St	Los Angeles	6	5	0.18ac	7/17/2017	1992	\$898,000	0.63 Miles
3	442 E Avenue 28 Ave	Los Angeles	7	4	0.1ac	9/11/2017	1906	\$903,000	0.92 Miles

**Neighborhood Data:**

Location Type:  Market Trend:  Economic Trend:  Neighborhood Trend:

Housing Supply:  Crime/Vandalism:  REO Driven?:  Avg Age of Home:

Neighborhood Pride of Ownership:  Avg Marketing Time of Comparable Listings:

Price Range:  to  Median Price:  Predominate Value:  Average DOM:

Number of units for rent:  Number of units in complex for sale:

**Negative Neighborhood Factors that will detract from the subject:**

**Neighborhood Comments:**

**Marketability of Subject:**

Most Likely Buyer:  Types of Financing the Subject will NOT qualify for:

Will this be a problem for resale? If yes, please explain:

**Comparables:**

Sale 1 Comments	Property is inferior in GLA and bed count to the subject. ADJUSTMENTS = GLA = \$80782, BED = \$18000, BATH = -\$10000, LOT = -\$400, CONDITION = -\$10000, AGE = -\$17500, TOTAL ADJUSTMENTS = \$60882, NET ADJUSTED VALUE = \$1035882
Sale 2 Comments	Property is inferior in GLA and bed count to the subject. ADJUSTMENTS = GLA = \$72892, BED = \$6000, BATH = -\$10000, GARAGE = -\$5000, LOT = -\$160, AGE = -\$15000, TOTAL ADJUSTMENTS = \$48732, NET ADJUSTED VALUE = \$1032107
Sale 3 Comments	Property is superior in GLA and similar in garage count to the subject. ADJUSTMENTS = GLA = -\$23587, BED = \$6000, BATH = -\$15000, LOT = -\$1760, AGE = -\$12500, TOTAL ADJUSTMENTS = -\$46847, NET ADJUSTED VALUE = \$813153
List 1 Comments	Property is inferior in GLA and superior in full bath count to the subject. ADJUSTMENTS = GLA = \$3687, BED = \$12000, BATH = -\$20000, GARAGE = -\$5000, LOT = \$160, CONDITION = -\$10000, AGE = -\$47500, TOTAL ADJUSTMENTS = -\$66653, NET ADJUSTED VALUE = \$908347.
List 2 Comments	Property is superior in GLA and similar in bed count to the subject. ADJUSTMENTS = GLA = -\$37475, BATH = -\$20000, GARAGE = \$10000, LOT = -\$400, AGE = -\$47500, TOTAL ADJUSTMENTS = -\$95375, NET ADJUSTED VALUE = \$802625
List 3 Comments	Property is inferior in GLA and similar in condition. ADJUSTMENTS = GLA = \$14836, BED = -\$6000, BATH = -\$15000, GARAGE = \$10000, LOT = \$240, TOTAL ADJUSTMENTS = \$4076, NET ADJUSTED VALUE = \$907076

**Comments:**

## Service Provider Comments:

Subject is a SFR home with 6 bed and 1 bath ,3173 sq.ft.To locate comparable in close proximity of subject, it was necessary to exceed style, year built, 20 % GLA,bed count, lot size guidelines . Also, it was necessary to use comparable which is superior in condition.Within 1 mile and 12 months back, there were limited comparable available in the subject neighborhood. To locate comparable, it was necessary to exceed proximity up to 1.5 miles, bed count and lot size guidelines. The subject is located near to park, highway, water way, railway tracks and commercial areas. This, however, will have no impact on value. In delivering final valuation, most weight has been placed on CS3 and LC1, as they are most similar to subject condition and overall structure.

## Vendor Comments:

Service Provider  
Signature

/s/ Robin Fox

Service Provider  
Company

REO Payment Solution

BPO Effective Date

12/26/2017

Service Provider Lic.  
Num.

00710941

**Repairs**

Recommended Repairs would bring the subject to:

<b>Internal Repairs</b>		<b>Comment</b>	<b>Total</b>
Paint			\$0
Walls/Ceiling			\$0
Carpet/Floors			\$0
Cabinets/Countertops			\$0
Plumbing			\$0
Electrical			\$0
Heating/AC			\$0
Appliances			\$0
Doors/Trim			\$0
Cleaning			\$0
Other			\$0
Internal Repair Total:			
<b>External Repairs</b>		<b>Comment</b>	<b>Total</b>
Roof			\$0
Siding/Trim			\$0
Structural			\$0
Windows/Doors			\$0
Paint			\$0
Foundation			\$0
Garage			\$0
Landscaping			\$0
Fence			\$0
Other			\$0
External Repair Total:			
Repair Total:			



Subject Front

**112 E Avenue 41  
Highland Park, CA 90031**



Address



Side



Side



Street



Street



Other



View across street



**Comparable Sale #1**

4471 Beauvais Ave  
Los Angeles, CA 90065  
Sale Date: 8/18/2017  
Sale Price: \$975,000



**Comparable Sale #2**

336 Mt Washington Dr  
Los Angeles, CA 90065  
Sale Date: 9/18/2017  
Sale Price: \$983,375



**Comparable Sale #3**

879 N Avenue 50  
Los Angeles, CA 90042  
Sale Date: 5/19/2017  
Sale Price: \$860,000



**Comparable Listing #1**

3726 Glenalbyn Dr  
Los Angeles, CA 90065  
Current List: \$975,000



**Comparable Listing #2**

3665 Roberta St  
Los Angeles, CA 90031  
Current List: \$898,000



**Comparable Listing #3**

442 E Avenue 28 Ave  
Los Angeles, CA 90031  
Current List: \$903,000

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